

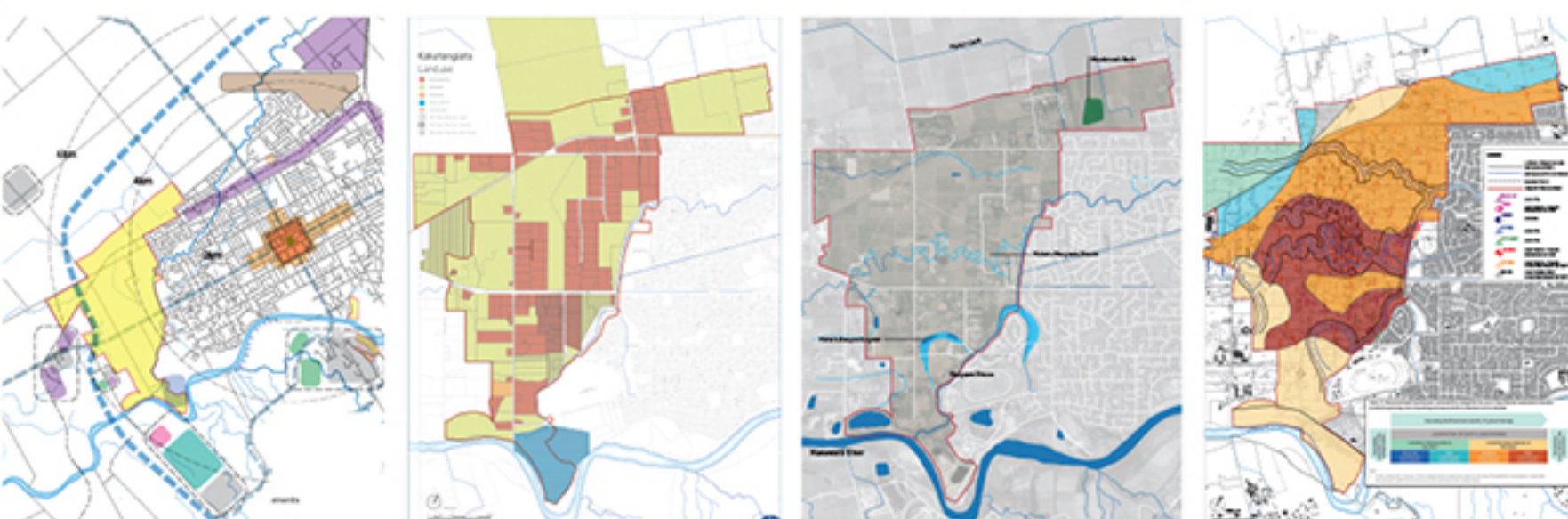
Kākātangiata

Structure Plan & District Plan Change

Preferred Masterplan Consultation

The Kākātangiata area will provide growth for the city over the next 30 years, delivering on both urban growth objectives and Whānau Ora outcomes.

The Structure Plan will create new neighbourhoods that connect communities to each other, to services and provide attractive places to live and work.



The Site

Kākātangiata occupies a strategically significant location to the west of the city.

The project area has expanded from 693Ha to 842 Ha as a result of feedback from previous consultation and logical extensions towards the city boundary.

Plan Development

Five development Options for Kākātangiata were prepared and presented at stakeholder consultation in October 2020.

Stakeholder feedback and multi-criteria assessment drove the evaluation of Options and informed the development of a preferred masterplan.

The Preferred Masterplan

Ngā Uara Whānui - Deliver an authentic expression of Whānau Ora outcomes

The masterplan restores the site's ecology in a way that supports the wellbeing and livelihood of whānau. Recreational networks promoting walking and cycling, local centre and community facilities and varied housing typologies support Whānau Ora outcomes.

Palmy Proud - Model 21st century urbanism within a city extension

The masterplan focuses on accessibility, mixed density and use, and integrated open space and water management.

Walkable City - Neighbourhoods focused on local centres for sustainable living

The Kākātangata masterplan is organised around a system of local centres creating legible and local place-based communities. Unique identity is driven by natural settings and urban amenities.

Mighty Mangaone - Waterways shape development and 're-wild' parts of Kākātangata

The Mangaone Stream corridor is widened and naturalised with native flora and fauna to restore the mauri of the ecosystem. This creates a 'wild' threshold serving both Kākātangata and the existing suburbs of Palmerston North.

Good Bones - Taking advantage of a flexible planning grid and persistent natural features

The masterplan connects key features such as Mangaone Stream, Manawātū River, Awapuni Lagoon and the Kahikatea stand by weaving together ecological and transport corridors to create a varied and vibrant urban environment.

West Side Story - Create an East-West city narrative about gateways and connected communities

New collector roads and offroad pedestrian and cycle links provide connections between existing and new neighbourhoods. Naturalised green corridors form thresholds between the different neighbourhoods.

Magnetic Attraction - Create a North-South city narrative about amenity and river access

The masterplan balances the existing east-west geometry with new north-south links. These enhance both visual and physical connections to the Manawātū River.

Creating Value - Differentiated urban edges afford opportunities for value creation

Urban development is optimised to create a variety of edge conditions that open up views and access to ecological systems

Place Making - Weave production spaces into the suburban fabric

Green space and streetscape design provide integrated Māra kai or community gardens that utilise high-class soils to grow food whilst preserving versatile soils in the process.

Key Housing Data

Total new dwellings: 6702
Conventional density: 4187
Medium density: 2072
Higher density: 443

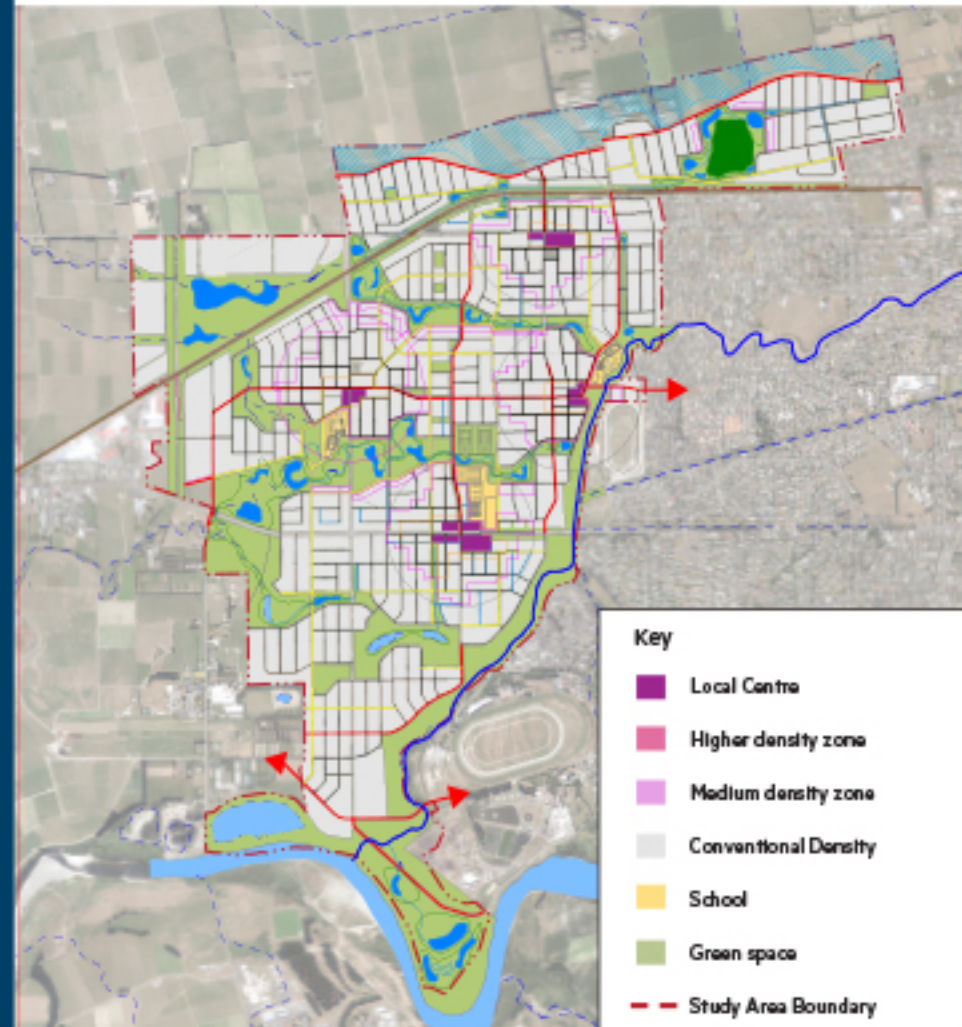
Masterplan Strategies

The Kākātangiata Masterplan can be understood through the interaction of four strategies that address:

- Centres & density
- Green & blue networks
- Movement & access
- Land use

The masterplan ensures that all of these work harmoniously together to create an environment where people want to live, while enhancing amenity for existing urban areas.

Centres & density



Four new Centres are provided and located to service residential neighbourhoods and facilitate walkability. Schools are co-located with Centres.

Mixed density housing enables varied typologies and a mixed demographic. Medium density housing is configured around Centres and ecological corridors.

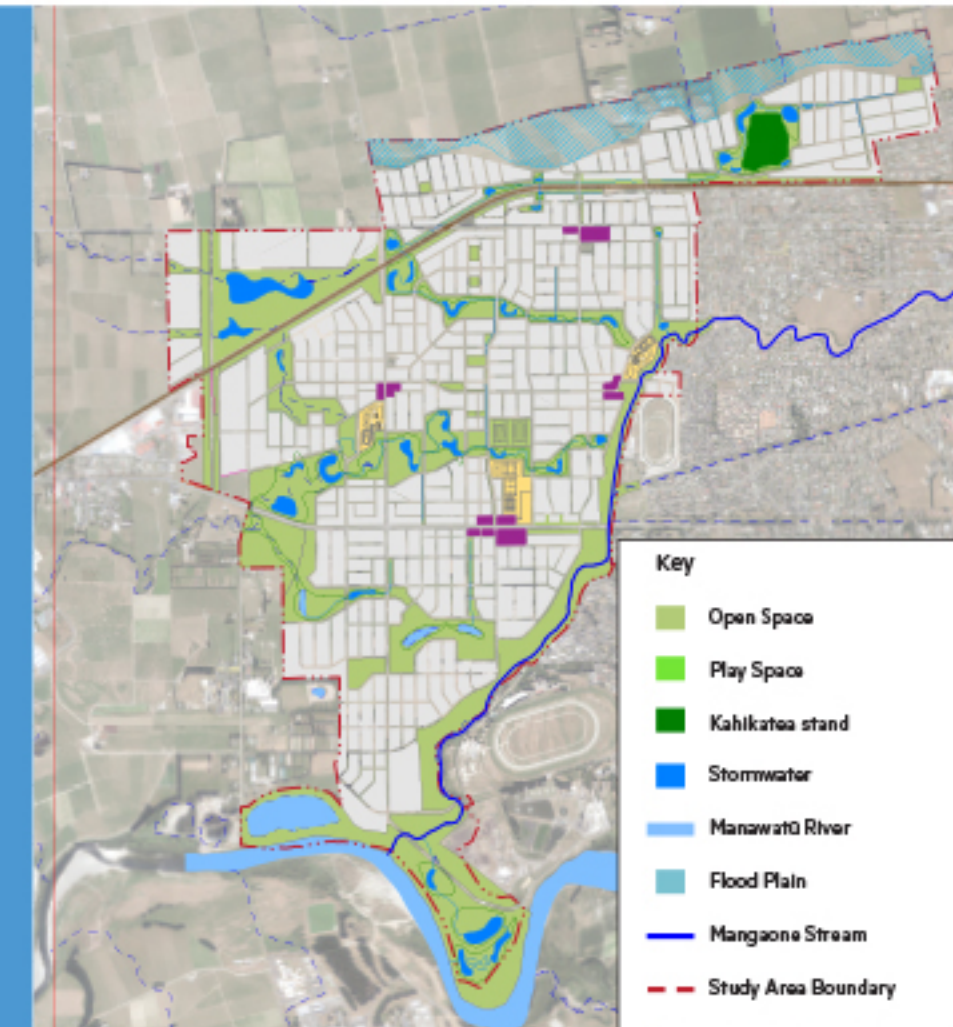
Conventional suburban and lower density housing is provided. Accessibility, the northern flood plain and noise generating activities influence density.

New subdivision patterns and roading are coordinated with existing property boundaries.

The plan provides 6702 new dwellings comprising:
4187 Conventional density
2072 Medium density
443 Higher density

Four new Centres (town & local) are provided:
Centre 1: 8,000-10,000 sq.m GFA
Centres 2, & 3: 2,000-3,000 sq.m GFA
Centre 4: 4,000-5,000sq.m GFA

Green & blue networks



New ecological corridors weave across the Plan connecting habitats, re-wilding the area and offering interaction with neighbourhoods.

The mauri of Kākātangiata's ecosystem is repaired through riparian and forest enhancement.

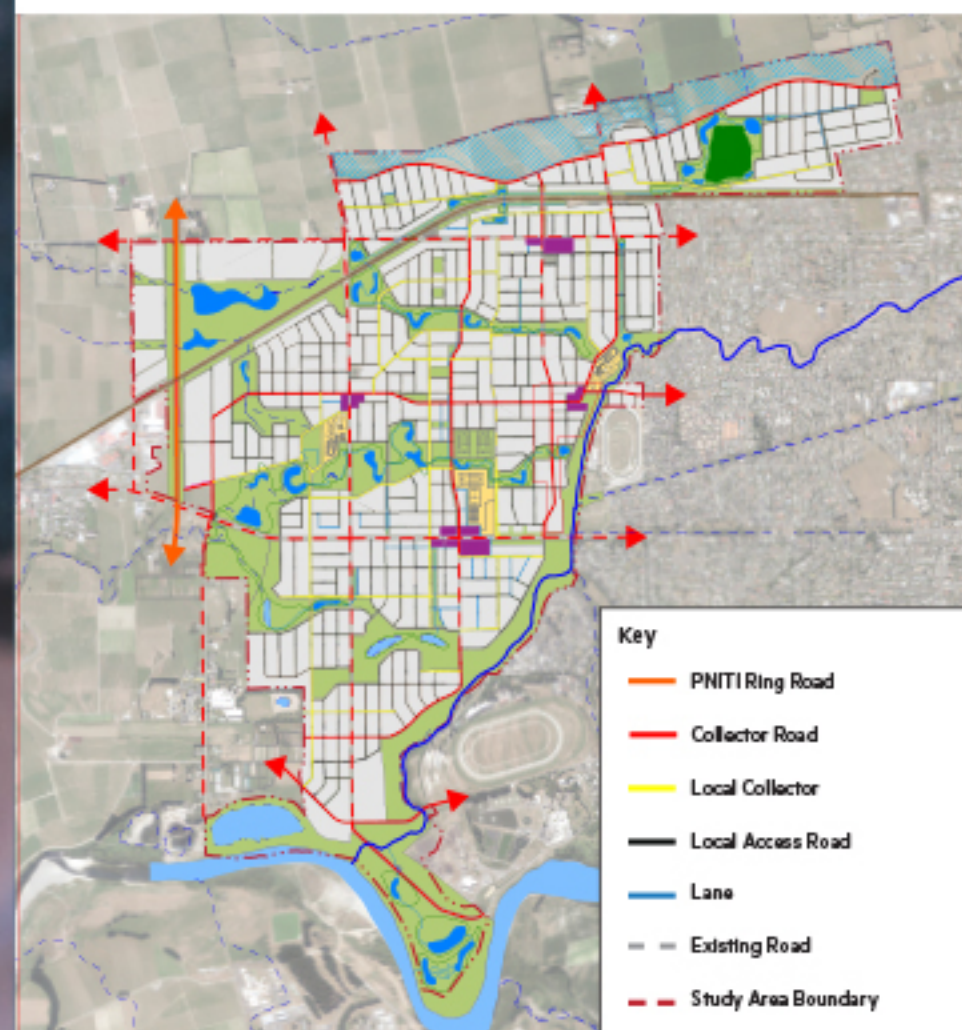
Co-management of reserves and ecological areas will occur between Rangitāne and Palmerston North City Council.

Features Include:

- Manawatu River & new riverside reserve
- Mangaone Stream
- Historic Mangaone alignment
- Awapuni Lagoon
- Kahikatea stand
- New biodiverse green & blue networks

Stormwater management is integrated into recreational open space design and overall spatial planning. Enhanced amenity supports walking and cycling.

Movement & access



A new Ring Road connecting SH57 south of the river to the NE Industrial Area and Regional Freight Hub is being considered by Waka Kotahi NZTA (alignment TBC).

Establish a permeable grid of new east-west and north-south links to open up strategic access across the area.

Create continuous streets along new ecological corridors. These encourage public access into the open space network and support walking and cycling.

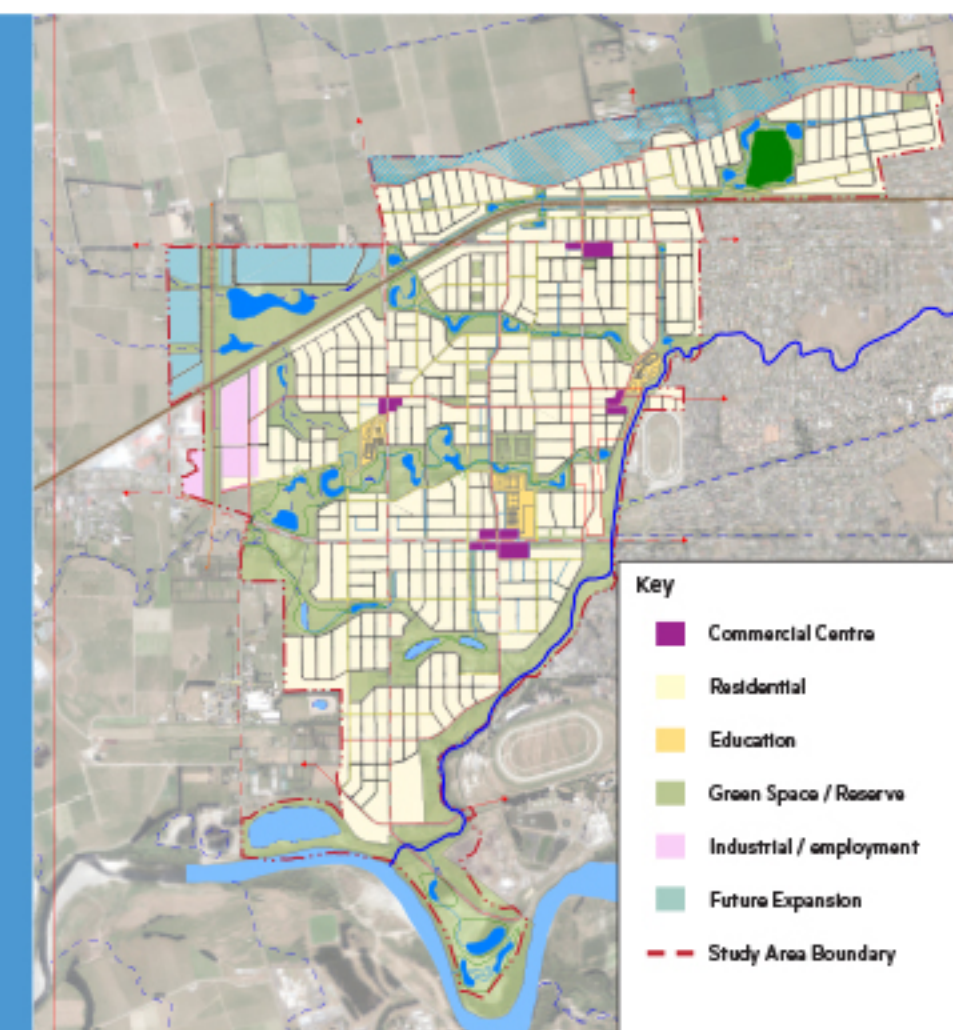
New street connections facilitate easy, walkable access to local centres and schools.

New links provided into existing neighbourhoods to connect communities and provide access to improved local services.

Extended public transport routes serve the area.

New grade-separated rail crossing to the north open up access to northern neighbourhoods.

Land use



Distinctive residential neighbourhoods defined by natural features and ecological corridors.

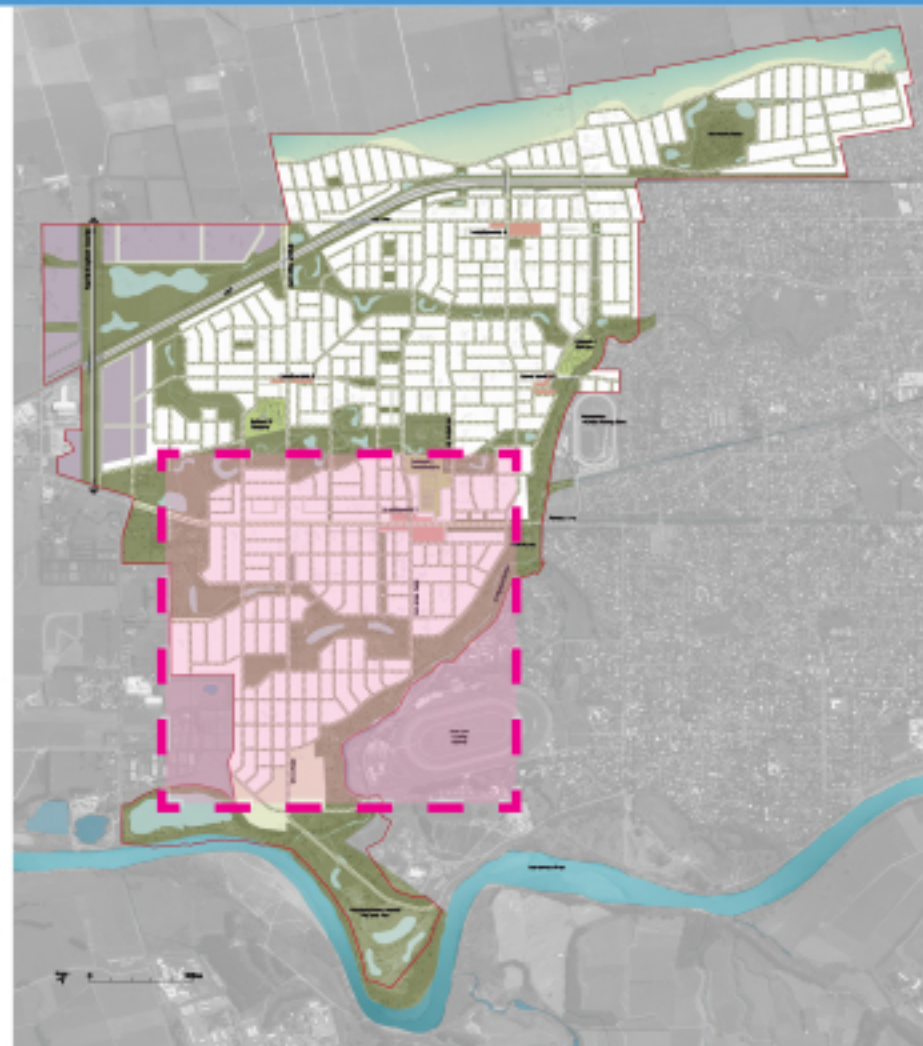
Vibrant commercial centres supported by education and community activities and surrounded by higher density housing.

Industrial and employment generating uses associated with the proposed western Ring Road and adjacent to Longburn.

New reserves providing recreational open spaces and equipped play areas, integrated with stormwater management and ecology.

Kākātangiata South

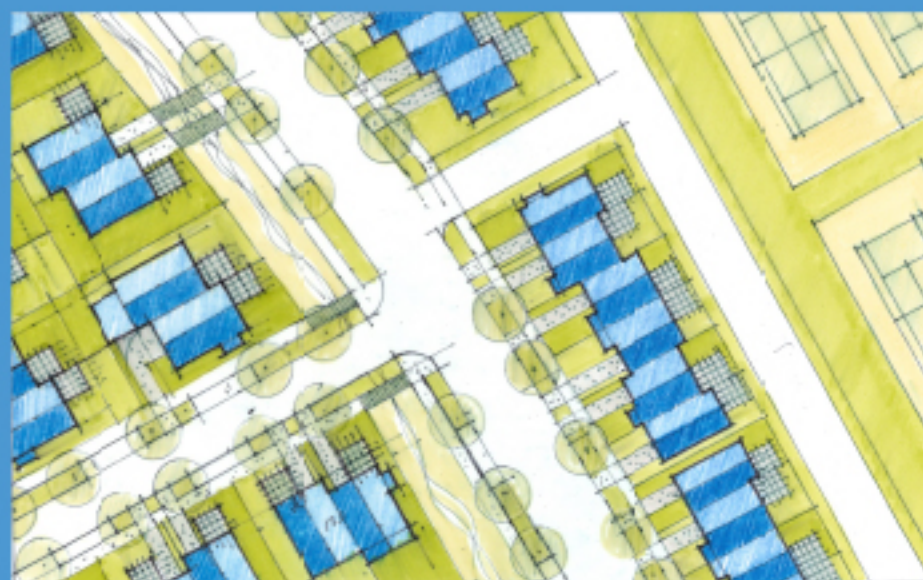
Kākātangiata South is the largest of four new neighbourhoods. Focused on a detuned Pioneer Highway, it offers a wider range of services and amenities than other local centres. Green corridors provide clear boundaries to the built-up area. Following ox bow lakes and an old stream corridor, these routes provide ecological repair and off-road travel.



Kākātangiata South



Detail Studies



Higher density housing occupies prime locations within walking distance of central amenities and along the edges of open space reserves. Rows of three-storey townhouses give an emphatically urban character to a few favourably placed streets. More commonly, two-storey semi-detached houses replicate the lifestyle benefits of traditional suburban villas. Even the smallest dwellings have access to private outdoor spaces.



Town Centre

Retail activity is concentrated on the southern side of Pioneer Highway, where it benefits from a sunny north-facing frontage. A small supermarket anchors the Town Centre. Commercial and Community services give a civic character to the northern side of the street. These facilities merge with those of the adjacent high school. Two and three-storey buildings hug the street. The result is a strongly defined destination with a pleasing human scale.



Collector Road - Centre



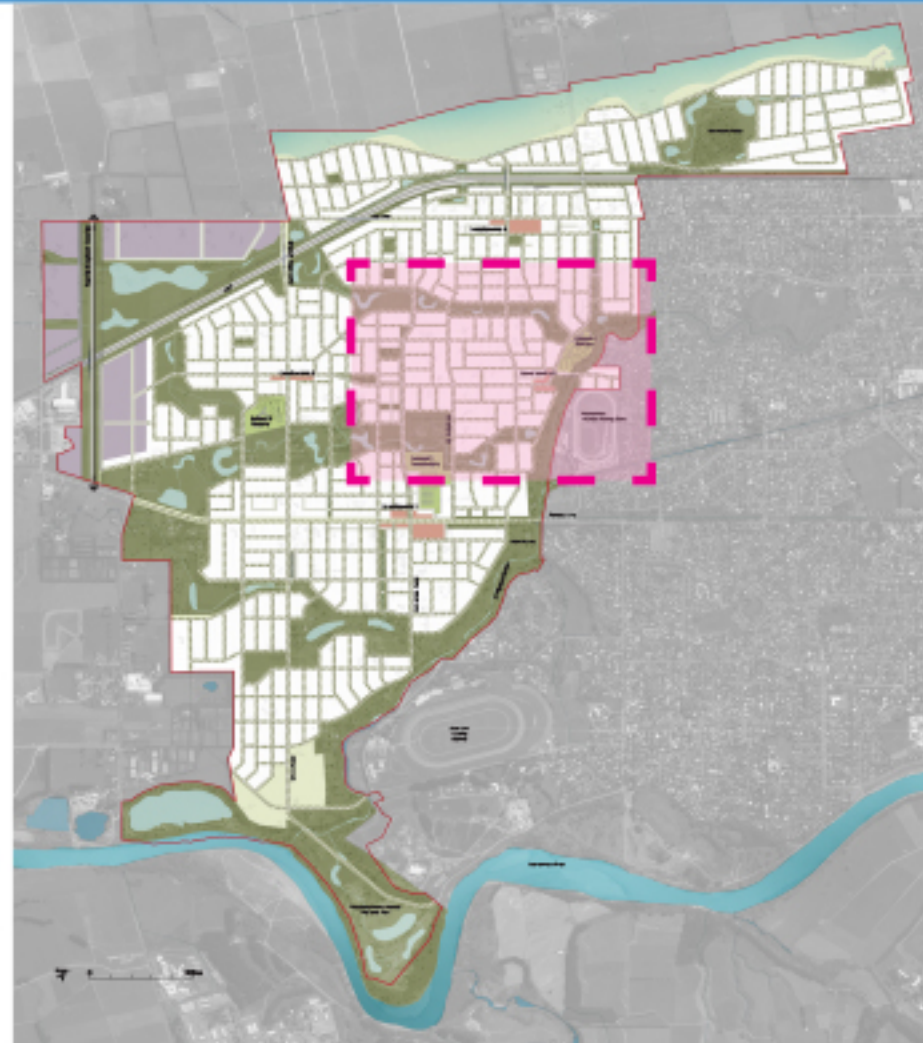
Local Road



Laneway

Kākātangiata East

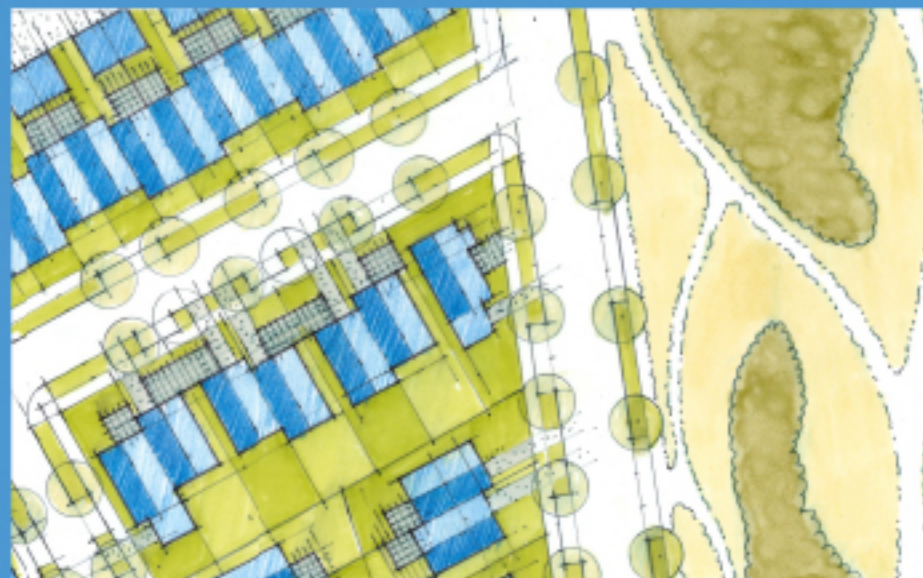
Historically, the Mangaone Stream has defined the western limit of urban expansion. The proposed Structure Plan transforms the stream into an ecological and recreational corridor. Enhanced in this way, the Mangaone becomes a focal point and a shared amenity that joins Kākātangiata East to established Highbury. A new local centre occupies a key link between the two suburbs. This route passes directly through the Plan from east to west. Elsewhere, the street grid is unusually irregular: a response to existing rural residential properties in the Anders Road area.



Kākātangiata East



Detail Study



A row of three-storey townhouses backs onto commercial buildings in the local centre. The two activities are separated by a lane, which accesses private garages and service areas. On the adjacent block, two-storey semi-detached houses deliver ample sun and privacy at twice the density of traditional stand-alone dwellings. A street follows the edge of the Mangaone Stream reserve. This street enables adjacent properties to face the open space. The thoroughfare also reinforces public ownership of the reserve.



Collector Road - Centre



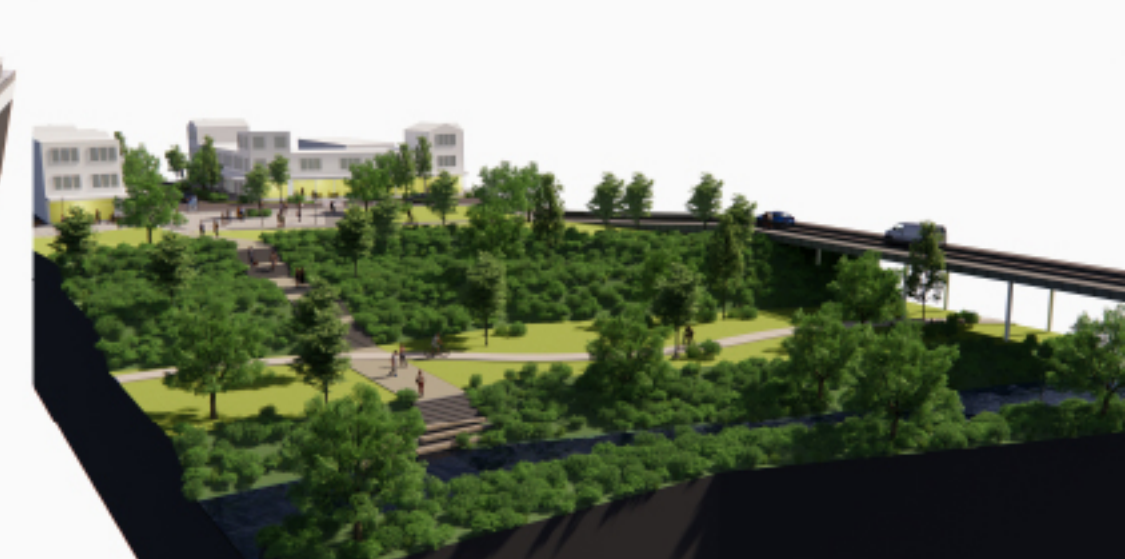
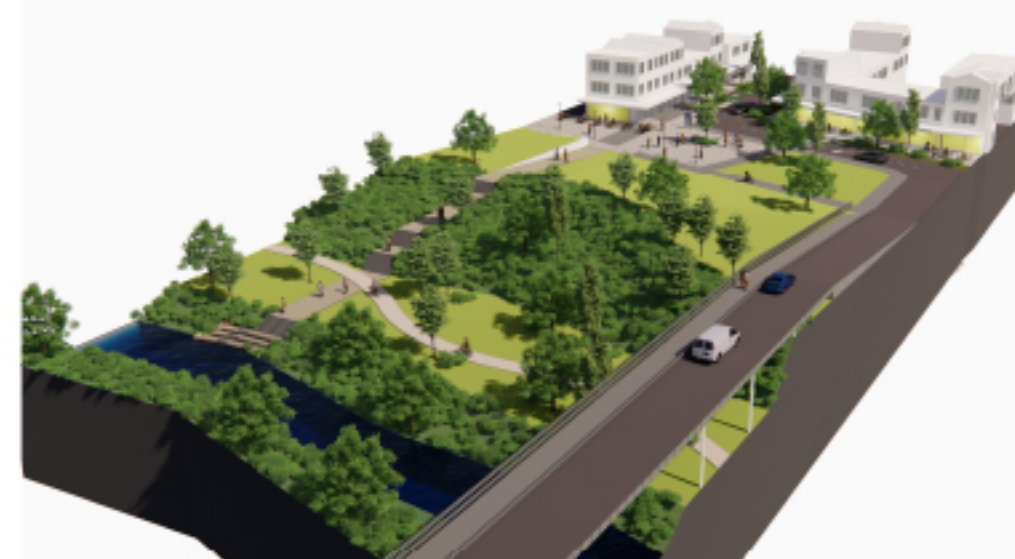
Local Road



Laneway

Local Centre

Although this local centre is modestly scaled, upper-level apartments and a nearby primary school give the area sufficient mass and complexity. The centre's most attractive feature is the Mangaone Stream. The shopping strip abuts the stream corridor. The immediacy of this relationship gives Kākātangiata East a memorably unique character.



Kākātangiata North

Kākātangiata North extends from Gillespies Road in the east to Longburn-Rongotea Road in the west. The rail line bisects this elongated area. However, a new overbridge at Anders Road helps to join both sides of the tracks into a single community. Residential development focuses on a neighbourhood centre at the intersection of Anders Road and No.1 Line. The rail corridor sits within a generous green belt, which keeps housing at a comfortable distance. The corridor also provides ecological and recreational links to the kahikatea forest on the city's new northern boundary.

Kākātangiata North



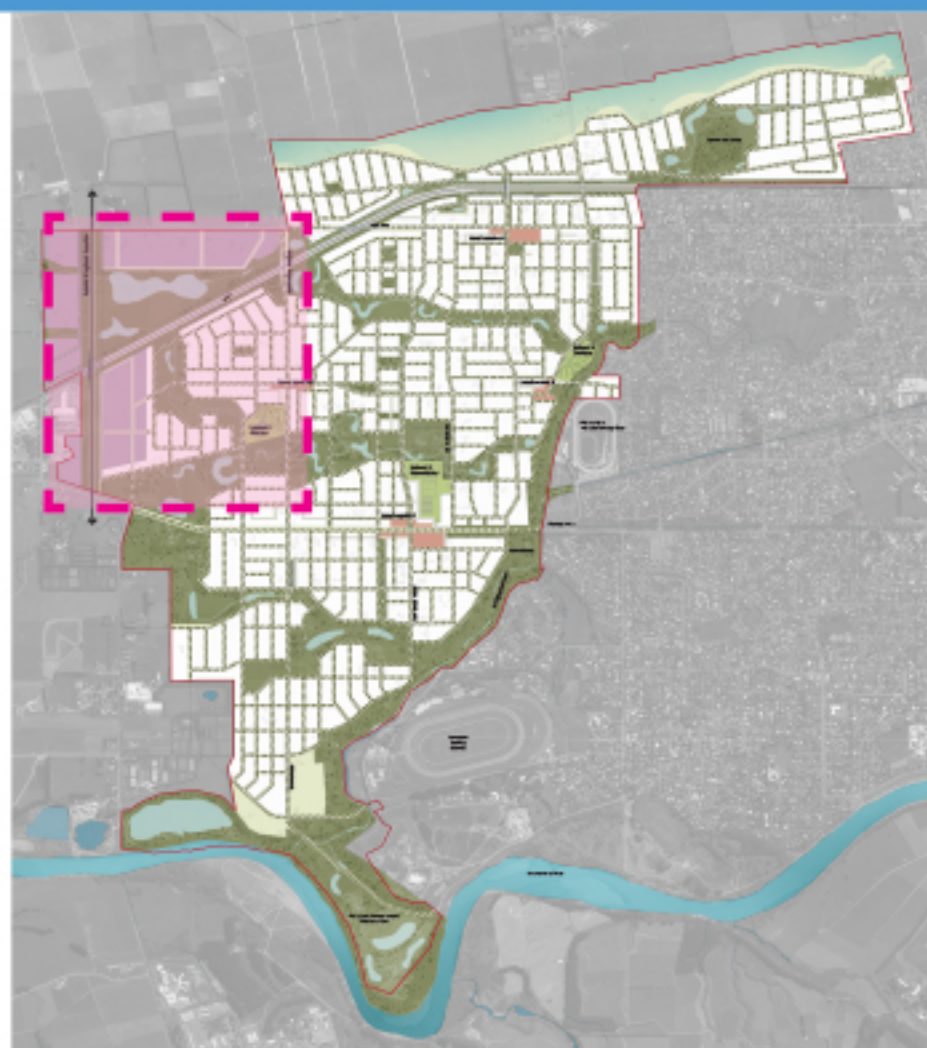
Detail Study

Most of Kākātangiata North is occupied by traditional detached houses. However, as with other villages in the Structure Plan, the neighbourhood centre is associated with higher density and a wider range of dwellings. Leafy streets are lined with semi-detached houses. Some properties back onto the rail corridor, which is wide enough to provide visual amenity. The residents of these compact homes have a short walk to shops and public transport.



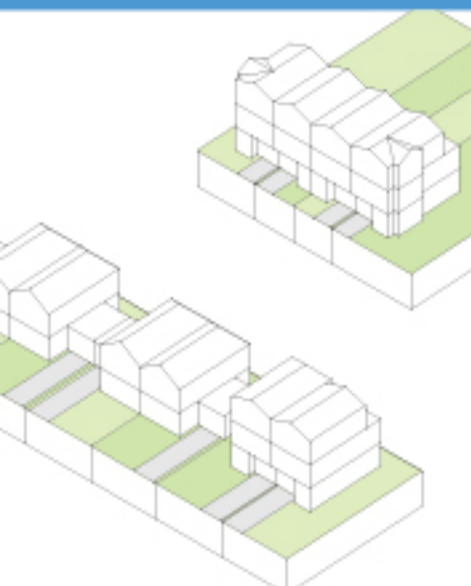
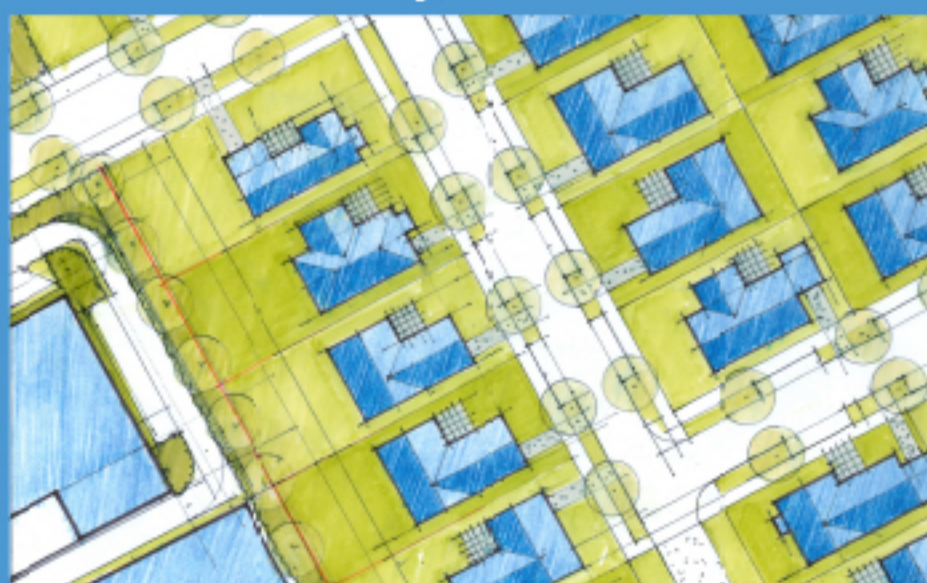
Kākātangiata West

With green belts on three sides, Kākātangiata West has well-defined edges and a strong place-based identity. The neighbourhood focuses on a local centre and nearby primary school. These occupy a nodal position, where Longburn-Rongotea Road intersects with a new east-west connector road. Beyond the greenbelts, industrial sites flank the potential route of a new Ring Road. Industry brings jobs and a daytime economy, making the local centre more viable.

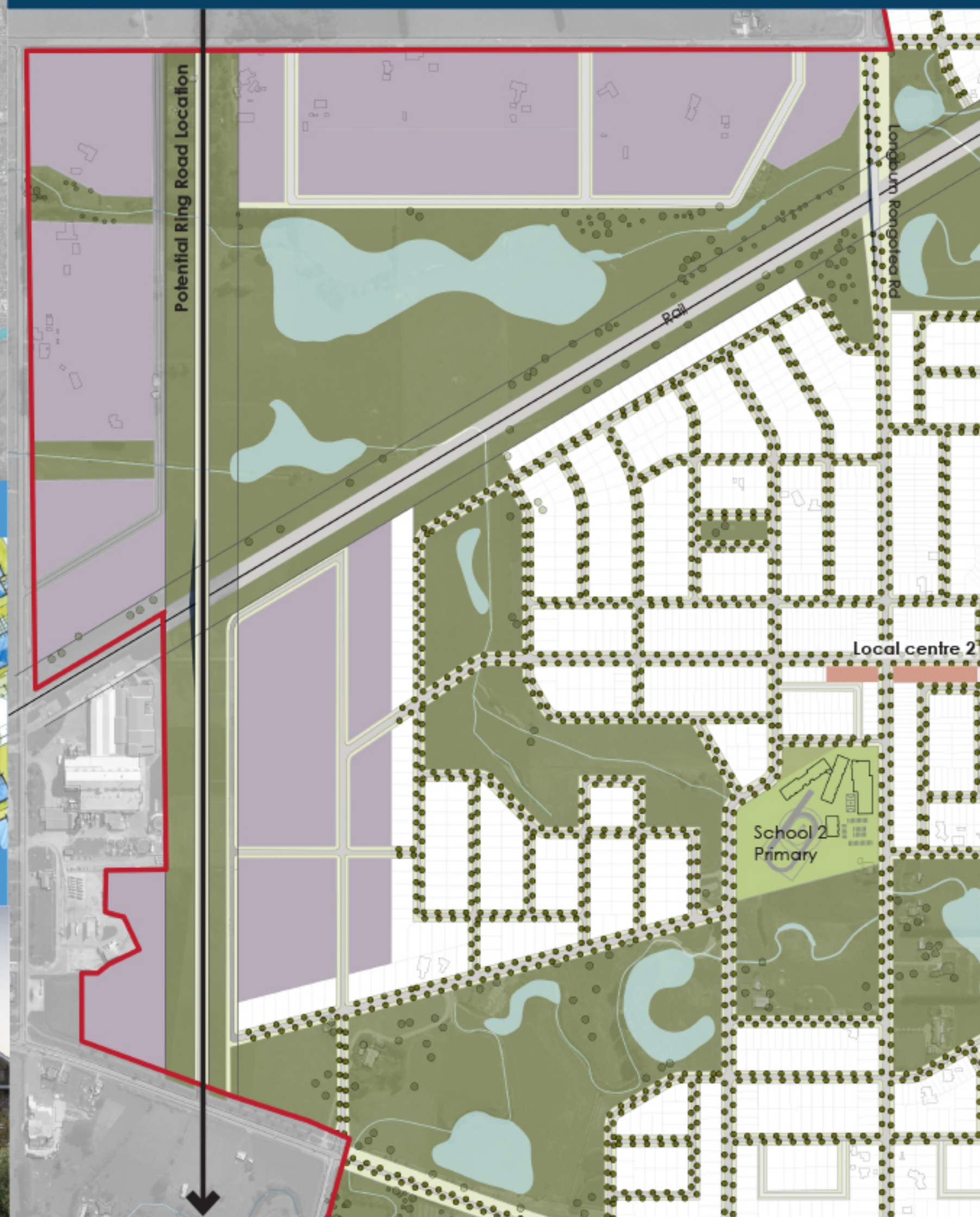


Detail Study

Kākātangiata's western margin is occupied by stand-alone homes on generous sections. A street grid continues the rectangular alignment of earlier farms and country roads. There is a mid-block boundary between houses and industry. Residential lots are deeper here, allowing rear gardens to merge with the landscaped edges of industrial sites. This arrangement means that every home fronts a fully residential street.



Kākātangiata East



Collector Road - Residential



Local Road



Laneway

The neighbourhood centre contains a single row of shops on a busy east-west connector road. Its north-facing retail frontage is ideal for a cafe or restaurant. The local primary school is just a short distance away on Longburn-Rongotea Road. School children and their parents bring activity to the area and help to support local businesses. The surrounding blocks contain townhouses and semi-detached dwellings. Higher residential density means that more people can enjoy the benefits of living close to shops and other services.