

Eamon Guthrie

From: Madoka Yamauchi <madoka.yamauchi@hfhl.co.nz>
Sent: Friday, 7 March 2025 12:59 pm
To: Eamon Guthrie; andrea.harris@wsp.com
Cc: Paul Thomas (paul@thomasplanning.co.nz); Kevin Judd; Neil O'Hara
Subject: FW: Roxburgh
Attachments: 217346 - CONCEPT PLAN - 250228.pdf; appendix-a-ppce-amendments-to-district-plan PT Tracked Changes 3 March.docx

Hi Eamon and Andrea,

Please see email below and attached docs.

Thanks

Madoka Yamauchi

Property & Projects Administrator

Higgins Family Holdings Limited

P: 06 280 2685 | 18 El Prado Drive, Palmerston North, 4414 | PO Box 12075, Palmerston North, 4444



This e-mail is privileged and confidential. If you are not the intended recipient please delete the message and notify the sender. Any views or opinions presented are solely those of the author. Higgins Family accepts no liability for any loss caused either directly or indirectly by a virus arising from the use of this message or any attached file.

From: Paul Thomas <paul@thomasplanning.co.nz>
Sent: Thursday, 6 March 2025 3:47 pm
To: Madoka Yamauchi <madoka.yamauchi@hfhl.co.nz>; 'Kevin Judd' <KevinJ@resonant.co.nz>; Neil O'Hara <neil.ohara@hfhl.co.nz>
Subject: Roxburgh

Caution: This email has come from an external address – please use caution when opening any attachments or clicking on any links.

Eamon and Andrea

Please find attached a tracked changes version of the Roxburgh provisions addressing matters from the Pre Hearing as well as other changes sought in the FHL submission.

Find also attached a conceptual plan that has been prepared to illustrate some of the issues.

Matters to note from the conceptual plan are:

1. The plan tests out a layout based on 15m road width not 13m.
2. The plan test out whether rights of way are preferable to construction of Local Road B.
3. The Plan tests out whether the main reserve can reasonably be located on the northern side of the road as opposed to the south
4. The Plan shows that in a few cases lot size over 500 m2 is necessary eg lots 67 and 40.

Other aspects are consistent with the proposed Structure Plan but this illustrates the issue raised re Structure Plan flexibility.

Amendment to the provisions have been made with the above in mind.

The tracked changes came out in red which leads to confusion with the Plan Change changes so I have also blocked in yellow the relevant parts.

Points to note include:

1. Reference to the structure plan is deleted from Objective 11 but retained in Policy 11.1 with reference back to objective 11 for any departures.
2. Policy 11.2 includes Local Street B as optional.
3. Policy 11.7 is new and focusses on the stormwater upgrade.
4. Policy 11.8 is new and requires a SMP if upgrade has not been consented.
5. Performance standard (b) references options in the structure plan relating to Local Street B and the reserve location.
6. Max lot of 600 has been included.
7. Policy 16.1 deleted as dealt with at subdivision.
8. Policy 16.4 inserted to deal with stormwater if the event of no subdivision.
9. Other stormwater policies not necessary if addressed at subdivision, if tanks or permeable surfaces end up part of SMP then they can be imposed by consent notices at subdivision.
10. Number of units rule tweaked as per submission.
11. Permeable surface rule deleted in favour of discharge upgrade or SMP.
12. R 10.6.3.3 matter of discretion deleted because it is an assessment criteria and relevant matters already covered in existing rule.
13. Consequential changes to multi unit performance standard re stormwater.
14. Non complying rule re permeable surfaces deleted.
15. Discretionary rule re non residential clarified – RD rule still needed.

Regards

Paul



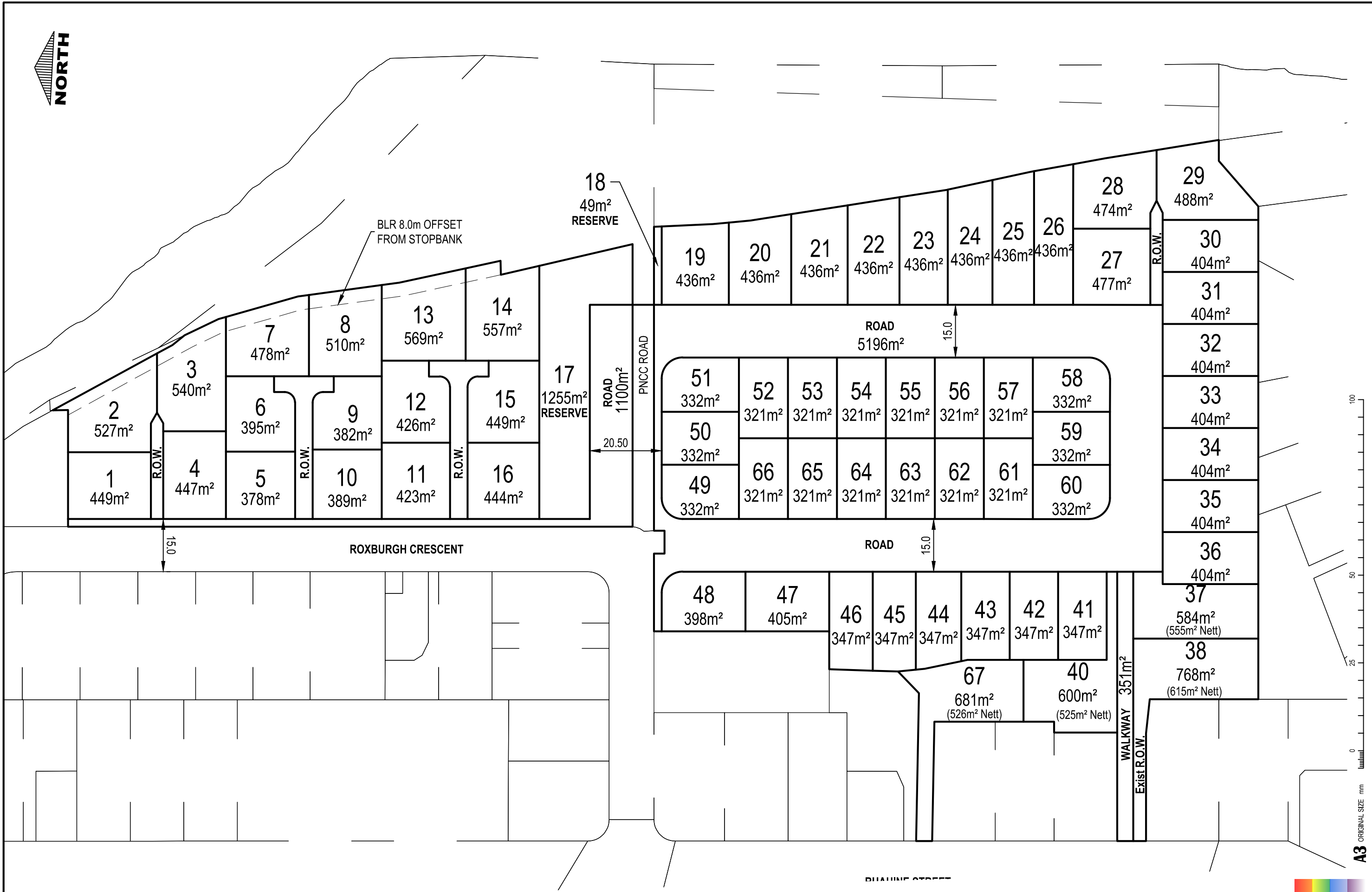
PAUL THOMAS

+64 4 4795034 +64 27 453 4816

paul@thomasplanning.co.nz

2A Jacobsen Lane, Ngaio, Wellington 6035

www.thomasplanning.co.nz



43 ORIGINAL SIZE mm

[illegible]

New proposed provisions to be inserted into the Palmerston North City Council District Plan

Chapter 4 Definitions

Insert the following new definition:

Roxburgh Residential Area: Means the residential area shown in the Roxburgh Residential Area Structure Plan (**Map 7.10** Structure Plan).

Principal bedroom: means the main bedroom in the residential unit which is the largest and/or occupied by the resident or residents who head the household.

Amend the following new definition:

~~In relation to R10.6.1.7(d):~~ means able to be viewed through, and with not less than 65% openness over the elevation of the fence. Open areas exclude any surface of the fence, which is solid, but may include wire mesh, or wrought iron or similar elements with a facing edge not thicker than 12mm and spaced at not less than 80mm centres.

Chapter 7 Subdivision

Insert the following new objective and policies:

Objective 11: To ensure that subdivision within the Roxburgh Residential Area proceeds in a manner that:

- (a) Delivers a high quality connected residential area, identified in the Structure Plan layout.
- (b) Manages stormwater in an integrated manner by implementing water sensitive design principles.
- (c) Provides for an increase in housing supply through a variety of housing types and sizes to achieve the efficient use of land and respond to housing needs and demands.
- (d) Creates a single pedestrian connection with the Manawatū River.

Policy 11.1: To ensure that development is undertaken in an integrated and coordinated manner in general accordance with the Structure plan or otherwise achieves Objective 11..

Policy 11.2 To restrict the use of cul de sacs and ensure connectivity as outlined in the structure plan, except that provision of New Local Street B is optional.

Policy 11.3 To recognise the limitations of the existing road corridor by enabling road layouts to be consistent with the road cross sections (refer to **Map 7.10 A** Roading Cross Section).

Policy 11.3: To require a single access point to the Manawatū River that is located centrally within the Roxburgh Residential Area as identified on the Structure Plan (refer to **Map 7.10** Structure Plan).

Policy 11.4: To enable the maintenance of critical infrastructure through the use of no build areas, consent notices and access easements.

Formatted: Highlight

Formatted: Highlight

~~Policy 11.5: To impose consent notices on titles outlining measures required manage pervious surfaces and land contamination.~~

Formatted: Highlight

Policy 11.6: To enable greater housing density by allowing smaller lot sizes.

Policy To enable larger lot sizes for the purpose of multi-unit residential development only where there is a concurrent subdivision and land use consent.

~~Policy 11.7: To upgrade existing stormwater infrastructure to accommodate a 10% AEP plus climate change storm event. To manage stormwater by utilising the road corridor and onsite permeability in the RRA.~~

Formatted: Highlight

~~Policy 11.8 Any subdivision prior to consents being granted to implement Policy 11.7 shall require a site specific Stormwater Management Plan that achieves~~

Insert the following new rules:

R7.6.2.6 Subdivision in the Roxburgh Residential Area

Any subdivision in the Roxburgh Residential Area that complies with the performance standards below is a Restricted Discretionary Activity with regard to:

(a) The size, shape and arrangement of lots, roads, access, and public open space.

~~(b) General accordance with Roxburgh Residential Area structure plan and roading cross sections.~~

Formatted: Highlight

~~(c)(b)~~ Those matters described in Sections 108 and 220 of the Resource Management Act 1991.

~~(d)(c)~~ Natural Hazards.

~~(e)(d)~~ Staging of development.

~~(f)(e)~~ Integration of essential services.

~~(g)(f)~~ Effects on the capacity of Council infrastructure.

~~(h)(g)~~ Stormwater Management

~~(i)(h)~~ The safe and efficient operation of the roading network.

Performance Standards

(a) Controlled Activity Performance Standards

Compliance with R7.6.1.1(a), (d), (e), and (i).

NOTE TO PLAN USERS: Where areas within Roxburgh Residential Area are identified in Council's records as being potentially contaminated, the National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health applies, and consent may be required under that document. If consent is required, then this must be applied for before or concurrently with a subdivision consent. All subdivisions must comply with the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health in addition to the requirements of this rule.

(b) Structure Plan

Subdivision must be in general accordance with layout contained in the Structure Plan shown on Map 7.10 Structure Plan, recognising that New Local Street B is optional and the open space may be located on the north side of Road D.

Formatted: Highlight

Formatted: Highlight

(c) Lot size

In the Roxburgh Residential Area each lot must be

- i. A minimum of 250 m² and a maximum of 6500 m².
- ii. A maximum lot size of 1000 m² applies for multi-unit development where a subdivision and land use consent are applied for at the same time.

Formatted: Highlight

(d) Road corridor:

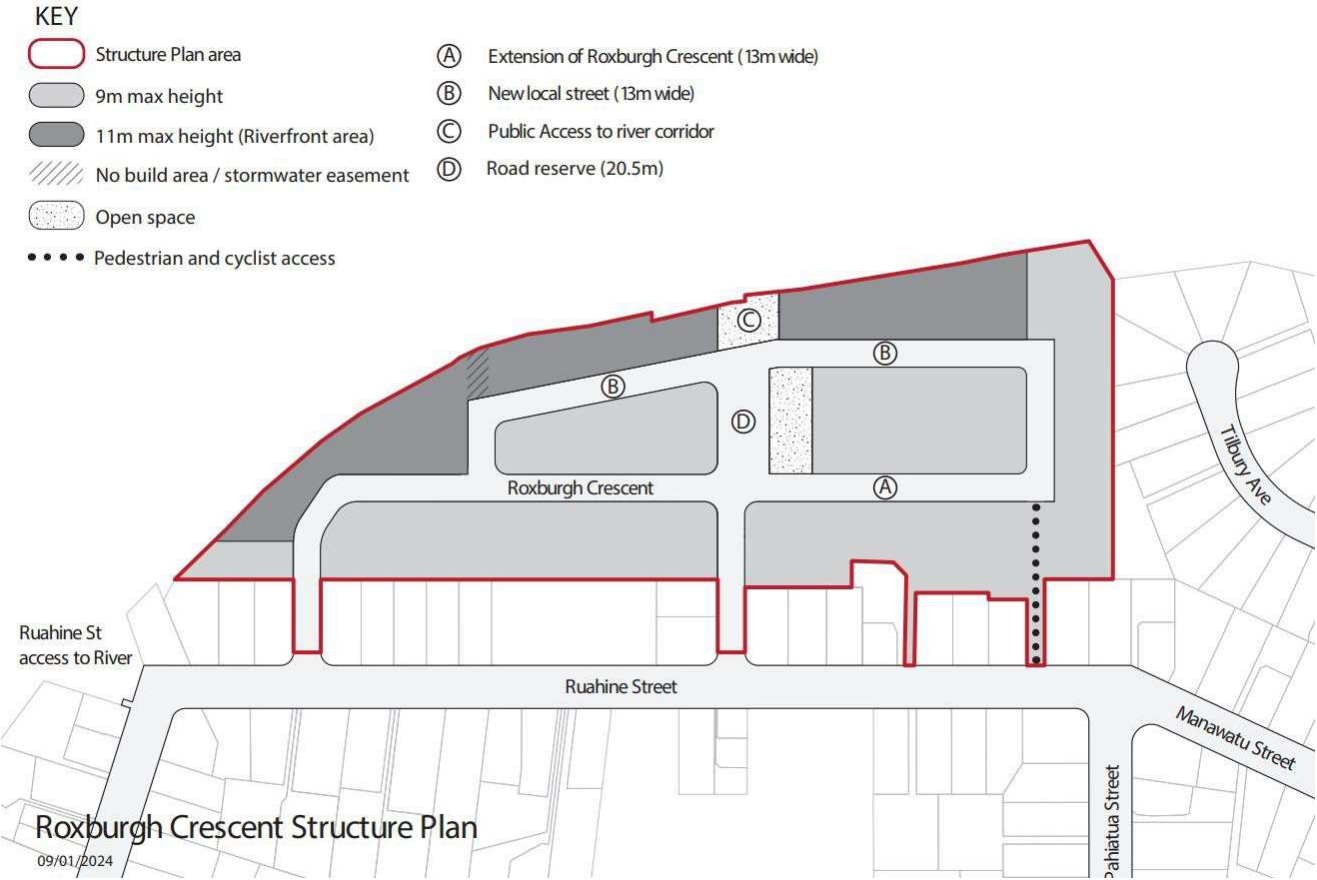
Design of the road corridor must demonstrate:

- i. Compliance with **Map 7.10 A** for both the new roads and existing Roxburgh Crescent.
- ii. Compliance with **Map 7.10 B** for the new road in the centre of the site marked as 'd' on the structure plan in **Map 7.10**.
- iii. Include water sensitive design elements based on one (1) square metre of stormwater pit being provided per 270 m² of road reserve.
- iv. Provide treatment of road stormwater through pervious pavements, grassed and other biofiltration devices prior to entering the Council stormwater network to improve the quality of the stormwater discharge.

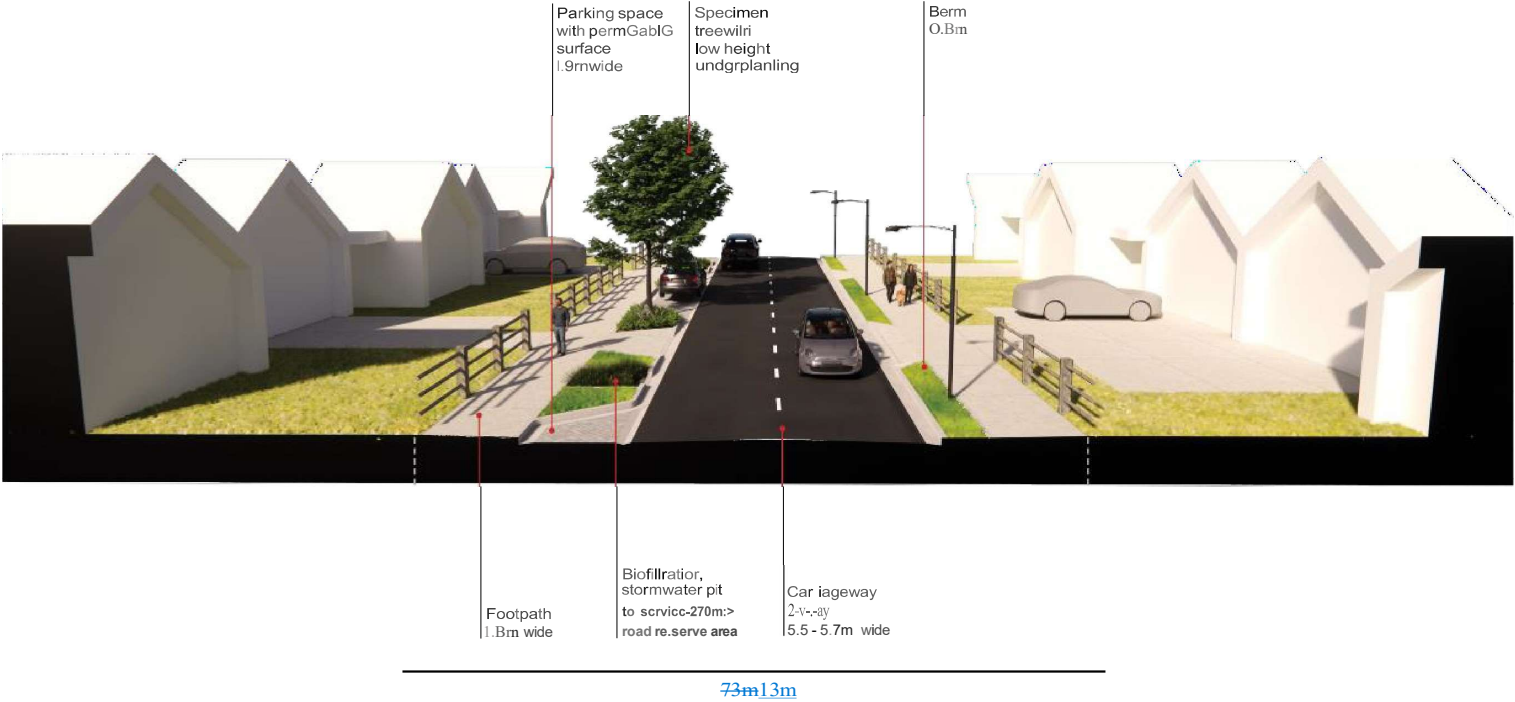
R7.6.2.7 Non-Notification of Subdivision in the Roxburgh Residential Area

Subdivision applications made for sites complying with R7.6.2.6 must not be publicly or limited notified.

Map 7.10 Structure Plan



Map 7.10 A Roading Cross Section



Map 7.10 B Roading Cross Sections for area marked 'D' (centre of site) on the structure plan in Map 7.10



Chapter 10 Residential

Insert the following new objective and policies:

Objective 16: Roxburgh Residential Area delivers a well-functioning urban environment by enabling a greater variety of housing densities, quality-built form and connection with public spaces.

Policy 16.1: Require development to be delivered in general accordance with the layout of the Roxburgh Residential Area Structure Plan and roading cross sections.

Formatted: Highlight

Policy 16.2: Roxburgh Residential Area is delivered in a way that:

- a. Provides passive surveillance from dwellings to public spaces.
- b. Provides functional outdoor space for dwelling residents.
- c. Provides a variety of housing density including attached and detached dwellings, 3-storey dwellings, and multi unit development.
- d. The visual dominance of garages from the street is managed through the use of garage setbacks.
- e. Onsite privacy and access to daylight and sunlight for habitable rooms in winter is achieved through building design.

Policy 16.3: To restrict non-residential activity in the Roxburgh Residential Area, except where the non-residential activity is located on Road D and is limited to the ground floor with residential activities above the:

Formatted: Highlight

- a. Ground floor and residential living is above, and
- b. East – West road opposite or adjacent to the open space area.

Policy 16.4: Where stormwater is not managed through subdivision consents, a Stormwater Management Plan will be required that provides for stormwater quantity and quality.

Formatted: Indent: Left: 1.17 cm

Objective 17: Stormwater is managed to reduce quantity and improve quality discharges through the use of water sensitive design within the Roxburgh Residential Area.

Policy 17.1: Utilise front yard landscaping to optimise stormwater runoff and improve stormwater quality.

Policy 17.2: To manage the risk of stormwater flooding by requiring that all development achieves the specified minimum floor levels and has sufficient permeable surfaces to manage stormwater runoff onsite.

Policy 17.3: To require that where permeability limits are not achieved, onsite measures are provided and demonstrated to achieve stormwater attenuation at the same rate as the required permeability area.

Policy 17.4: To encourage parking areas to include permeable surfaces.

Insert the following new rules:

10.6 Dwellings and Accessory Buildings

R10.6.1 Rules: Permitted Activities

R10.6.1.8 Dwellings within the Roxburgh Residential Area

Dwellings are a Permitted Activity in the Roxburgh Residential Area, subject to the following performance standards:

Performance Standards:

- a. Compliance with Permitted Performance Standards under R20.4.2 (a)
- b. Floor Levels

Floor levels must be above the flood and stormwater inundation level predicted for a 0.5% annual exceedance probability (AEP) (1 in 200 year) flood event, plus 350mm freeboard for dwellings and dwelling units (including attached garages).

- c. Site Area, Site Coverage and Number of Buildings

- i) Site area
 - a) A minimum site area of 250m²
 - b) A maximum site area of 500m²
- ii) Site coverage
 - a) Maximum site coverage of 45% of net site area.
- iii) Number of buildings used for residential living per site

The number of buildings per lot shall be no more than

- a) One dwelling unit on lots of 250m² to 400 m²
- b) Two dwelling units on 401m² to 6500m²

For three or more dwellings on a site refer to R10.6.3.3 Multi-unit residential development in the multi-unit housing areas identified on Maps 10.6.3.3(a)-(h i) is a Restricted Discretionary Activity with regard to:

- d. Permeable Surfaces

- i) The minimum permeable surface area must be 45% of net site area.
- ii) Should the stormwater outlet from Roxburgh Crescent to the Manawatu River be constructed and is operational, the minimum permeable surface area must be 30% of net site area.

Formatted: Highlight

Formatted: Superscript, Highlight

Formatted: Highlight

Formatted: Superscript, Highlight

Formatted: Highlight

Formatted: Highlight

iii)iv) Permeable surface may be landscaped areas which also achieve the landscaping requirements of R10.6.1.8(e).

Guidance Note: Given the Roxburgh Residential Area is at the bottom of the stormwater catchment, the lack of detention areas to attenuate stormwater within the site in a location near the outlet to the river, and the current size of the outlet there are few alternatives to providing the onsite permeability required. Council may impose consent notices on property titles at subdivision stage to enforce this standard.

e.d. Frontage Landscaped areas

30% of the land within the front yard setback area, as referenced under R10.6.1.1(c)(i)(a), must be developed with plants and grass.

f.e. Height

- i) A maximum height of 9 metres.
- ii) Within the River Front Area
 - a. no building or structures may exceed a maximum height of 11 metres + 1 metres for pitched roof; and
 - b. all dwellings must be a minimum of two stories.
- iii) Antennae, chimneys and aerials may exceed this height by 2 metres.

g.f. Height Recession Plane

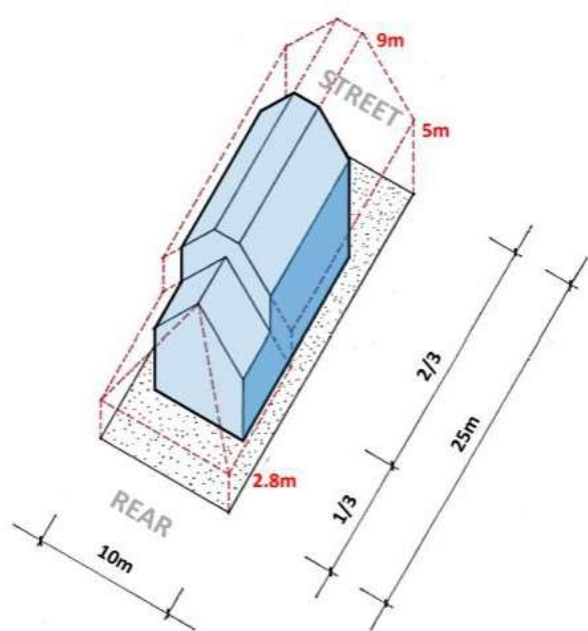
- i) Within the Roxburgh Residential area outside the River Front Area (shown on the structure plan **Map 7.10** Structure Plan the following apply:
 - a) All buildings and accessory buildings must be contained within 45° angle inclined inwards at right angles from a point of 5.0 metres above ground level along the front two – thirds including side boundaries; and
 - b) For the rear one-third of the site or any rear lots: buildings and structures must be contained within 45° angle inclined inwards at right angles measured from a point of 2.8 metres above ground level.

Except where:

- a. For parcels longer than 45m, all buildings and accessory buildings must be contained within 45° angle inclined inwards at right angles from a point of 2.8 metres above ground level for the rear 15m of the lot.
- b. For lot boundaries along existing residential properties in Ruahine Street and Tilbury Avenue, all buildings and accessory buildings must be contained within 45° angle inclined inwards at right angles measured from a point of 2.8 metres above ground level.

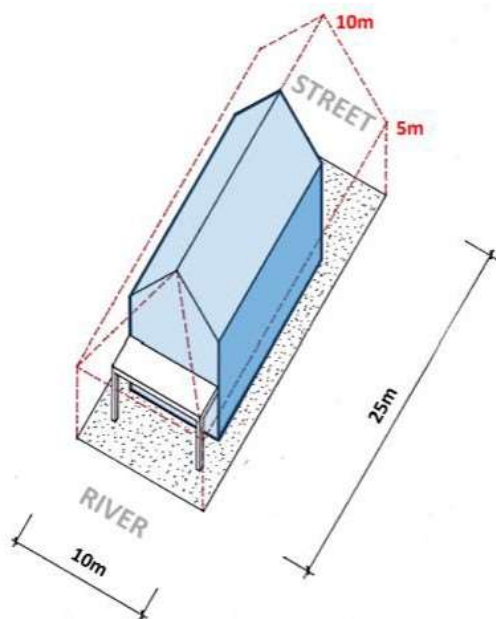
- ii) All buildings and accessory buildings within the River Front Area (11m height area shown on the Structure Plan **Map 7.10** Structure Plan the following apply:
 - a) All buildings and accessory buildings must be contained within 45° angle inclined inwards at right angles from a point of 5.0 metres above ground level for the entire length of the lot including side boundaries.
- iii) No height recession plane applies along common boundaries of conjoined dwellings.
- iv) Where a boundary adjoins an access strip the measurement will apply at the furthestmost boundary of the access strip.

Guidance Note: See Figure 1 HRP for the Roxburgh Residential Area and Figure 2 for the River Frontage Area which demonstrates how height recession planes are to be measured.



250m² Standard Lot
(approximate dimensions)

Figure 1 HRP for the RRA (except River Front Area)



250m² River Frontage Lot
(approximate dimensions)

Figure 2 HRP for the River Frontage Area

h-g. Overlooking

Compliance with performance standard R10.6.1.1(b).

i.h. Separation Distances

Compliance with performance standard R10.6.1.1(c).

Except where:

- Where two dwellings are joined by a wall or by their respective garages, the separation distance provisions in R10.6.1.1(c)(i)(a) must not apply.

j.i. Outlook Space

- Every dwelling unit must be provided with an outlook space from habitable room windows that meets the following minimum dimensions:
 - 6 metres in depth x 4 metres in width outlook space for a *main living area*; and
 - 3 metres x 3 metres outlook space for a *principal bedroom*¹; and
 - 1 metre x 1 metre outlook space for all other *habitable rooms**.
- Outlook space must:
 - be clear and unobstructed by buildings;
 - does not extend over an outlook space or outdoor living space required by another dwelling;
 - be provided from the face with the largest area of glazing where the room has two or more external faces; and
 - be measured from the centre point of the window to which it applies.
- Outlook space may extend over a public road, public open space, driveways and footpaths within the site, or another outlook space required within the same dwelling.

¹ Principal bedroom means *the main bedroom or master bedroom in the dwelling unit which is the largest.*

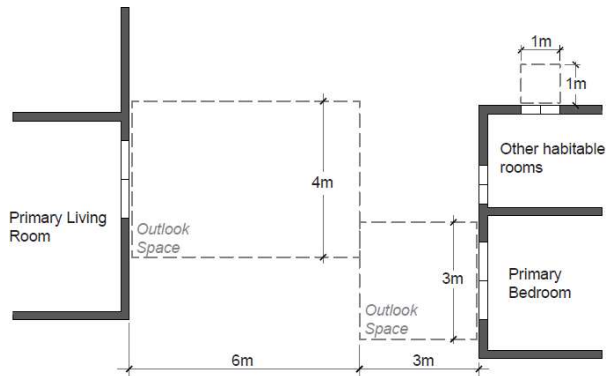


Figure 3 Outlook space

k-j. Fencing

i. Boundaries with public spaces and road frontage:

- a. A solid fence on a property boundary to any road, public walkway or reserve must be no higher than 1.1m in height.
- b. If the fence is of Open Construction², the fence must not exceed more than 1.8m in height.
- c. A solid fence located along a property boundary to a road, public walkway or reserve where a private outdoor amenity area is located must not exceed more than 1.8m in height and be no longer than one third of the total site frontage area in compliance with R10.6.1.1(e) .

ii. Side Boundary Fence:

A side boundary fence must not exceed 1.1 metres in height for a distance of 3 metres into the property from the road boundary when next to the driveway. After 3 metres the fence must not exceed 1.8 metres in height.

l-k. Onsite Amenity

- i. Where the onsite amenity is provided at ground level compliance with R10.6.1.1(e).

² means able to be viewed through, and with not less than 65% openness over the elevation of the fence. Open areas exclude any surface of the fence which is solid, but may include wire mesh, or wrought iron or similar elements with a facing edge not thicker than 12mm and spaced at not less than 80mm centres

ii. Where the onsite amenity is provided above ground level it must meet the following requirements:

- a. a minimum area of 5 m² where the space serves a one bedroom dwelling unit, or
- b. a minimum of 8 m² where the space serves a dwelling unit with two or more bedrooms, and
- c. be located to the north, east or west of the dwelling unit, and
- d. be located to receive a minimum of 3 hours continuous sunlight over at least 50% of the area on the shortest day of the year, and
- e. have direct contact with the main living area via door access.

Note to plan users:

Any excavation or earthworks or structures within 8m of the inland toe of stop bank may require consent from Manawatu Wanganui Regional Council. Plan users are advised to consult with the Manawatu Wanganui Regional Council for any works 8m within the toe of the stop bank.

Amend rules for activities that don't meet the permitted activity rule above as follows³:

10.6.3 Rules: Restricted Discretionary

R10.6.3.3 Multi-unit residential development in the multi-unit housing areas identified on Maps 10.6.3.3(a)-(h-i) is a Restricted Discretionary Activity with regard to:

- Effects on the surrounding residential environment and streetscape
- Height
- Design, scale and appearance
- Site density and layout
- On-site landscaping
- Privacy across boundary and within the development
- The safe and efficient operation of the roading network, and internal circulation and manoeuvring areas
- Natural hazards
- For developments within the Hokoahitu Lagoon Residential Area, the effects on the Manawatu Golf Club
- Matters addressed in the design principles in Policy 2.8 of Section 7A for housing within the Matangi Residential Area.
- For developments within the Aokautere Residential Area, the impact on achieving the design elements and outcomes of the Aokautere Structure Plan and the effects on the natural gully network.
- ~~For developments within the Roxburgh Residential Area, to achieve a well functioning urban environment by developing in general accordance with the Roxburgh Residential Area Structure Plan, and give effect to storm water permeability standards.~~

Formatted: Highlight

Performance Standards

- i. Notional Site Area for Each Unit
 - a) No minimum notional site area applies if the development site is located within Areas A or C;
 - b) A minimum notional site area of 150m² applies if the development site is located within Areas B, D, or G, or H
 - c) A minimum notional site area of 250m² applies if the development site is located within Area J.
- ii. Minimum Unit Size

³ Amendments under the Roxburgh Plan Change are in red and underlined

- a) Each unit must have a gross floor area greater than 45m², if the site is located within Areas A or C; or H
- b) Each unit must have a gross floor area greater than 60m², if the site is located within Areas B or D or G or H or J.

iii. Site Coverage

A maximum site coverage of 40% applies to the development site unless in the Aokautere Residential Area and the Roxburgh Residential Area where a maximum site coverage of 45% applies.

iv. On-site Amenity

- a) Each unit shall be provided with a private outdoor amenity area within the notional site which can meet the following requirements:
 - A minimum open area of 30m² free of driveways, parking spaces, buildings and manoeuvring area.
 - Is able to accommodate a circle of 4 metres in diameter.
 - Has direct contact with a main living area for a length of not less than 2 metres.
 - Is orientated to the east, west or north of the unit.
- b) Each dwelling unit located on the first floor, which does not have connection at ground level, shall be provided with a private outdoor amenity area which can meet the following requirements:
 - Is accessed directly off the living, dining or kitchen areas, and located at the same level,
 - A minimum of 8m² in area, unless a unit in the Aokautere Residential Area or the Roxburgh Residential Area has less than two bedrooms in which case a minimum of 5m² applies.
 - Is orientated to the north, west or east.
 - Be located to receive a minimum of 3 hours continuous daylight over at least 50% of the area on the shortest day of the year in the Roxburgh Residential Area.

v. Access and Parking

Compliance with R10.6.1.1(g) (Access and Parking).

vi. Compliance with R10.6.1.1(a), R10.6.1.1(b), R10.6.1.1(c)(i).

The performance standards of 10.6.1.1(a), 10.6.1.1(b), 10.6.1.1(c)(i) apply only to the exterior boundaries of the development site.

vii. Stormwater Design

A plan must be submitted to identify appropriate stormwater design for the development, and:

- demonstrate how peak run-off volume is to be mitigated
- demonstrate how low impact development principles are applied
- identify a secondary flow path.
- demonstrate how the stormwater design aligns with any approved relevant the Stormwater Management Plan, prepared under R7A.5.2.3(h)

Formatted: Highlight

• Demonstrate how the stormwater design aligns with R10.6.1.8(d) within the Roxburgh Residential Area

- demonstrate how adverse effects on the gully network in Aokautere will be avoided

viii. Additional setback requirements in the Hokowhitu Lagoon Residential Area

- No setback is required from the street edge boundary of lanes identified in Map 7.7.2.7.
- On corner sites a 3m setback applies to a nominated street interface boundary. The other interfaces can be treated as side boundaries where a minimum 1.5 setback applies.
- Where a building on a corner site is set back between 1.5m and 3m from a road boundary which is to be treated as a side boundary, as per 10.6.3.3(viii)(ii), at least 10% of the surface area of the side boundary wall that fronts the road must be glazed.

ix. In the Matangi Residential Area multi-unit unit housing area identified on Map10.6.3.3(h) the following applies:

- No building may exceed a height of 11 metres
- All parts of a building shall be contained within a 60 degree plane commencing at 3 metres above ground level inclined inwards at right angles in plan.
- Front yard fences shall not exceed a height of 0.9 metres.

x. Development Yield

Within the multi-unit housing area identified in the Matangi Residential Area (Map 10.6.3.3(h)) the average minimum number of dwellings shall be 25 per hectare.

xi. Additional height, recession and setback requirements in the Aokautere Residential Area

- a) No building shall exceed 11m within Area H
- b) All buildings within Area H shall be contained within a 45° plane commencing at 5m above ground level inclined inwards at right angles in plan for the front two-thirds of the side boundary and 2.8m for the rear one-third of the side boundary (See Figure 10.2) unless it is located at the boundary of a Suburban Low Density allotment in which case the recession plan shown in Figure 10.1 applies.
- c) Any dwelling (including with garages) within Area H must be at least:
 - 1.5m from the road boundary where the lot has frontage with any public road;
 - 1m from any side yard boundary; and
 - 3m from any rear yard boundary.

xii. Outlook space in the Roxburgh Residential Area

- i. Every dwelling unit must be provided with an outlook space from habitable room windows that meets the following minimum dimensions:
 - a. 6 metres in depth x 4 metres in width outlook space for a main living area; and
 - b. 3 metres x 3 metres outlook space for a principal bedroom⁴; and

⁴ Principal bedroom means the main bedroom or master bedroom in the dwelling unit which is the largest.

- c. 1 metre x 1 metre outlook space for all other *habitable rooms*.

xiii. Building height requirements in the Roxburgh Residential Area

- i. A maximum height of 9m
- ii. Within the River Front Area
 - a. No buildings or structures may exceed a maximum height of 11m + 1m for pitched roof, and
 - b. All dwellings must be a minimum of two stories
- iii. Antennae, chimneys and aerials may exceed this height by 2m

xiv. Height Recession Plane in the Roxburgh Residential Area

- i. Within the Roxburgh Residential area outside the River Front area (shown on the Structure Plan Map 7.10 Structure Plan) the following apply:
 - a. All buildings and accessory buildings must be contained within 45° angle inclined inwards at right angles from a point of 5.0 metres above ground level along the front two – thirds including side boundaries; and
 - b. For the rear one-third of the site or any rear lots: buildings and accessory buildings must be contained within 45° angle inclined inwards at right angles measured from a point of 2.8 metres above ground level.

Except where:

- c. For parcels longer than 45m, all buildings and accessory buildings must be contained within 45° angle inclined inwards at right angles from a point of 2.8 metres above ground level for the rear 15m of the lot.
- d. For lot boundaries along existing residential properties in Ruahine Street and Tilbury Avenue, all buildings and accessory buildings must be contained within 45° angle inclined inwards at right angles measured from a point of 2.8 metres above ground level.
- ii. Dwellings within the river front area (shown on the Structure Plan) the following apply:
 - a. All buildings and accessory buildings must be contained within 45° angle inclined inwards at right angles from a point of 5.0 metres above ground level for the entire length of the lot including side boundaries.
- iii. No height recession plane applies along common boundaries of conjoined dwellings.
- iv. Where a boundary adjoins an access strip the measurement will apply at the furthestmost boundary of the access strip.

Guidance Note: See Figure 1 HRP for the Roxburgh Residential Area and Figure 2 for the River Frontage Area which demonstrates how height recession planes are to be measured.

- xv. Compliance with R10.6.1.5(c)(v).

In determining whether to grant consent and what conditions to impose, Council will, in addition to the City View objectives in Section 2 and the Residential Zone objectives and policies, assess any application in terms of the following assessment criteria:

Assessment Criteria

1 Character

The extent to which:

- (a) any significant planting and trees are retained, and neighbourhood character is reinforced with the type and species of new planting.
- (b) new development relates to common and defining patterns of the height and width of primary building forms, and predominant roof types and pitches.
- (c) new development in valued character areas relates to common and defining patterns of frontage orientation and alignment.
- (d) new development relates to common and defining patterns of façade composition and articulation, and qualities of materials and landscaping.
- (e) development within the Hokowhitu Lagoon Residential Area responds to the park-like character of the adjoining Manawatu Golf Course
- (f) Development, within the Aokautere Residential Area responds to the natural gully network, open space and the network of cycleways and recreational trails.

2 Site Planning

The extent to which:

- (a) buildings and related open spaces and landscaping are planned and designed together to deliver high levels of amenity with a range of housing types and forms and well-located, good quality open spaces, which are consistent with any relevant Greenfields Structure Plan and within the Hokowhitu Lagoon Residential Area provides a safe interface with the adjoining Manawatu Golf Course.
- (b) private and public areas are differentiated and defined.
- (c) habitable rooms are orientated towards the east, north or west for good sun, and habitable rooms that face south only are avoided.
- (d) new buildings retain reasonable visual privacy and daylighting for all adjacent residential units and properties.
- (e) garages and parking are located and designed to avoid monotony and domination of any street frontage or spaces within the development.

- (f) driveways and entrance courts are designed and landscaped to give visual interest and create an attractive entrance to the development.
- (g) the planning of the development allows views of the street and common spaces within the development to be maintained, including views of open carparking spaces from the dwelling served.

3 Building Design

The extent to which:

- (a) dwelling fronts including entrances and windows to habitable rooms are orientated to the street edge, and views are maintained to and from the street. **This does not apply within area J.**
- (b) modelling of building form, and secondary forms and detail gives visual interest and a sense of human scale at the occupied and/or publicly visible edges of buildings.
- (c) windows are provided to optimise both daylighting and views while providing for privacy, and large blank walls are avoided.
- (d) the living areas of dwellings are located and oriented to optimise sun exposure, natural lighting and views, including to the street or adjacent public open spaces.
- (e) circulation within the dwellings is sufficiently planned, and spaces including storage are provided and sized to be fit for purpose.
- (f) new buildings retain reasonable visual privacy and daylighting for adjacent residential properties.
- (g) individual units are expressed and entrances are signalled and readily visible from the street or entranceways.
- (h) the design of the development incorporates energy efficient and water conservation principles.
- (i) Within the Hokowhitu Lagoon Residential Area incorporates design and materials to withstand damage from stray golf balls from the Manawatu Golf Course.

4 Open Space Design

The extent to which:

- (a) main outdoor spaces are associated with a living area within the dwelling, are reasonably private and of a useable size and are orientated to the sun.
- (b) usable, well-orientated balconies are provided to above ground units and where quality at-grade private open space is not reasonably achievable.
- (c) good quality shared private open space is provided as a complement to smaller private open spaces or balconies allocated to individual units.
- (d) boundary treatments such as walls or planting between units balance openness and closure, and are varied to both privacy and views out, and avoid monotony and complete fragmentation of the open space within the development.
- (e) planting is integrated to provide an attractive setting for and outlook from the dwelling, and provide for privacy, summer shade and winter sun.

- (f) carports and garages are visually compatible with and of a similar standard to the development as a whole.
- (g) large, highly visible retaining walls are avoided or screened with appropriate planting.
- (h) front yard boundary treatments are sufficiently low to provide for visual connection between the dwelling and the street and allow safe vehicle access across the footpath.
- (i) suitably screened and located provision is made for rubbish storage and collection.
- (j) suitable, reasonably private and sunny space is provided for open air laundry drying.

5 Infrastructure and Servicing

The extent to which:

- (a) site and building design mitigates any increase in peak stormwater run-off and peak stormwater flow due to the reduction in permeable surfaces.
- (b) the development is consistent with relevant engineering requirements
- (c) buildings, structures and landscaping are avoided in the 5 metre no-build setback identified on the Aokautere Structure Plan (Map 7A.4).
- (d) adverse effects on the gully network in Aokautere are avoided.

6 Natural Hazards

How the development manages potential adverse effects associated with the geotechnical constraints and natural hazards within the Aokautere Residential Area through implementation of any geotechnical and engineering recommendations, including the level of geotechnical investigation carried out and the level of analysis and specific design requirements arising from the investigation with particular reference to:

- cut slope behavior and slope stability analysis to develop appropriate set back distances from the crest of slopes for building platforms
- whether building platforms should be restricted in certain areas
- whether specific foundation designs are required in certain locations; and/o
- the management of earthworks and recontouring of land.

NOTE TO PLAN USERS

- Also refer to the following rules:
 - R10.6.1.3 Amberley Avenue, Escort Grove, Rangitane Park and Awapuni Racecourse Minimum Floor Level Areas;
 - R10.6.3.4 Awatea Stream and Jensen Street Ponding Areas;
 - R10.7.1.6 Limited Development land in Aokautere
- Council's engineering standards for the design and construction of infrastructure and services should be referenced in the design of multi-unit residential developments.
-

R10.6.3.4 Non-Notification of Multi –Unit Residential Development Activities in the Hokowhitu Lagoon Residential Area ~~and the Aokautere Residential Area~~ and the Roxburgh Residential Area

Applications made for restricted discretionary consent applications under R10.6.3.3 for sites associated with Map 10.6.3.3(g), 10.6.3.3(i) and 10.6.3.3 (j) must not be publicly or limited notified.

10.6.4 Rules: Discretionary Activities

R10.6.4.3 Multi-unit residential development that does not comply with R10.6.3.3 or is located within the Golf Ball Hazard Area in the Hokowhitu Lagoon Residential Area identified in Map 7.7.2.7 or is not located within identified areas of 10.6.3.3

Multi-unit residential development that does not comply with the Performance Standards of R10.6.3.3 or is located within the Golf Ball Hazard Area in the Hokowhitu Lagoon Residential Area identified in Map 7.7.2.7, or that is not located within identified areas of 10.6.3.3 is a Discretionary Activity.

In determining whether to grant consent and what conditions to impose, if any, Council will in addition to the City View objectives in Section 2 and the objectives and policies of this zone, assess any application against the assessment criteria in R10.6.3.3.

10.6.5 Rules: Non – Complying Activities

~~R10.6.5.6 Non – compliance with rule 10.6.1.8 D Permeable Surfaces in the Roxburgh Residential Area~~

~~Any new dwelling, minor dwelling or accessory building located in the Roxburgh Residential Area that does not comply with rule 10.6.1.8 D Permeable surfaces shall be a non-complying activity.~~

Insert a new rule for 10.7 Non-Residential Activities as follows:

R10.7.4.12 Non-residential activities within the Roxburgh Residential Area

Any non-residential activity within the Roxburgh Residential Area is a Discretionary Activity where it is not located on Road D and is limited to the ground floor with residential activities above.

Formatted: Highlight

Formatted: Highlight

Formatted: Highlight